



**TOWN OF PILOT BUTTE**

**BOX 253**

**PILOT BUTTE SK S0G 3Z0**

**Phone: 306-781-4547**

**Fax: 306-781-4477**

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## **DEVELOPMENT and BUILDING INFORMATION**

**A DEVELOPMENT PERMIT (INFORMATION REQUIRED TO MAKE SURE THAT THE BUILDING WILL COMPLY WITH THE TOWN ZONING BYLAW) MUST BE APPROVED BY THE TOWN DEVELOPMENT OFFICER. ONCE THE APPROVAL HAS BEEN RECEIVED FOR THE DEVELOPMENT PERMIT, THEN AN APPLICATION FOR BUILDING PERMIT MAY BE COMPLETED.**

The Municipality of Pilot Butte requires and issues building permits because, by law, it is required that the municipality will administer and enforce the Provincial Government's Uniform Building and Accessibility Standards Act. This Act states that: the owner of each building in Saskatchewan shall ensure that the building is designed, constructed, placed, altered, repaired, renovated, demolished, relocated, removed, used or occupied in accordance with building standards. We would like to draw your attention to the following regulations and policies in effect in the town when commencing development. Please call 781-4547 for further information.

- Please note below that the development permit expires in one year and building permits expire 6 months from date of issue if work is not commenced within that period, or if work is suspended for a period of (6) six months.
- An extension of 6 months for building permits and one year for development permits may be granted by the town development officer.
- Permit costs are based on the number of inspections required.
- Noncompliance with building regulations and permits will result in additional inspection costs that will be charged back to the permit holder.
- Noncompliance after the permit and extensions expire will result in having to purchase a new permit.
- Contravention of building bylaws will result in fines according to the Town General Penalty Bylaw No. 14-2011.
- Unpaid costs resulting from non compliance will be added on to the property taxes.
- You must notify the town office of the start, progress, and completion of the project.
- All arrangements for inspections must be made by the permit holder.

The Development Permit and Building Permit can be obtained at the Town of Pilot Butte Town Office.

**Specific questions regarding development or zoning should be directed to the Town of Pilot Butte at 781-4547.**

The building standards regulations require the town to employ a qualified building inspector for all residential and commercial building permits in the town. "Professional Building Inspections Inc." has been retained to do plan reviews and inspections on our behalf.

**Specific questions regarding building plans or actual construction should be directed to Professional Building Inspections Inc. at 536-1799.**

## **PERMIT EXPIRATION:**

If the **development** or use authorized by a development permit is not commenced within **one year** from the date of its issue, and completed within twelve months of its issue, the permit is deemed void unless an extension to the period has first been granted. The total time allowed for any or all such extensions shall be no more than one additional year.

All **building** permits issued under this section expire (unless an extension in writing has been first granted when):

- (a) **six months** from date of issue if work is not commenced within that period, or
- (b) if work is suspended for a period of six months, or
- (c) if work is suspended for a period of longer than six months by prior written agreement of the local authority or its authorized representative.

## **NEW HOME CONSTRUCTION:**

### **REFUNDABLE BUILDING DEPOSIT: \$2000.00**

A partial refund of 50% of the refundable building deposit will be issued to the Developer when **all** of the conditions below have been met.

The Municipality must be provided with:

- a) Receipt of Final Inspection Report, complete of all deficiencies, from the Licensed Building Inspectors;
- b) Receipt of a Surveyor's Real Property Report & a Final Grade Elevation as per Section 8.2 & 8.3 respectively of Building Bylaw No. 8 – 2015;
- c) Inspection of water & sewer service connection and Water Meter Installation by the municipality; and
- d) Plumbing Permit & Installation of sewage back flow preventor inspected with the plumbing inspection from the Licensed Plumbing Inspector with Regina Qu'Appelle Health Region.

In any event, if the above items shown above are not completed within 36 months from the date of the approved development permit, the 50% of the partial refund shall be forfeited to the Municipality.

The remaining 50% of the refundable building deposit will be refunded to the homeowner upon completion of the landscaping. If the landscaping is not completed within 36 months from the date of the approved development permit, the remaining 50% of the refund shall be forfeited to the Municipality.

**SEWER SERVICE APPLICATION:**     **\$100.00** (see attached application)

**WATER SERVICE CONNECTION:**     **\$100.00** (see attached application)

**WATER METER INSTALLATION:**     For new homes you must have your plumber contact the town office to collect the Water Meter for installation. At that time a town representative will provide the water meter as well as observe & inspect the installation.

**SEWAGE BACKFLOW PREVENTER:**     Must be installed.

## **GENERAL BUILDING INFORMATION:**

The drawings which will be required are listed below. Information typically shown on these drawings is listed, but other information must be added if necessary to fully describe the proposed construction. For alterations and renovations, some of the drawings may not be required.

**REAL PROPERTY REPORT:** provided by a Saskatchewan Land Surveyor indicating civic address, legal description, registered owner, easements and surveyor certification. This report indicates lot size, building size and site plan.

**LOT GRADING CERTIFICATE:** provided by a Saskatchewan Land Surveyor indicating civic address, legal address, surface parcel number, existing lot elevations.

**ELEVATIONS:** views of all sides of the building; height of finished grade; exterior finishing materials; size and location of doors, windows; location of chimneys.

**FOUNDATION PLAN:** overall size of the foundation; size and location of footings; piles; foundation walls; size and location of openings for doors, windows; foundation drainage.

**FLOOR PLAN:** size and location of: interior and exterior walls; exits; fire separations; doors (including door swings and hardware); stairs; windows; barrier-free entrances; barrier-free washrooms; other barrier-free facilities; built-in furnishings.

**STRUCTURAL PLANS:** size, material and location of: columns; beams; joists; studs; rafters; trusses; masonry walls; poured in place and pre-cast concrete walls and floors; related structural details.

**CROSS-SECTIONS AND DETAILS:** cut through views of the building; lists of all materials cut through including structural and finishing materials; vertical dimensions; stair dimensions and handrails; height of finished grade; wind, water and vapour protections; insulation.

**MECHANICAL PLANS:** description and location of heating, ventilating and air-conditioning equipment; size and location of ductwork; location of fire dampers; location of plumbing fixtures and piping; size and location of sprinkler system equipment.

**ELECTRICAL PLANS:** type and location of lighting; electrical panels; fire alarm systems; location of exit lights; emergency lighting.

## **ZONING INFORMATION:**

### **RESIDENTIAL**

**ATTACHED GARAGE:** Minimum Side yards - 1.2 metres and Minimum Rear yard setback – 6 metres.

**HOUSE:** Minimum 1.2 metres side yard / Min 7.5 metres front set back / Min 6 metre back yard. Features such as bay windows, window boxes and sills, belt courses, cornices, eaves, and gutters or cantilevered construction such as fire escapes, chimney chases, bow windows, bookcases, built in cabinet, balconies, and canopies may project a distance of **.61 metres into any required front, side or rear yard but not closer than 0.31 metres to a lot line.**

**PERMITTED YARD ENCROACHMENTS:** Unenclosed decks no higher than 0.61 metres above the finished grade, cantilevered balconies, porches and steps to a maximum projection of 2.4 metres into required front or rear yard.

**GRADING & LEVELING OF LOTS (FRONT & BACK):** Any lot shall be levelled and graded at the owners' expense. Finished grades shall provide adequate surface drainage that does not affect adjacent property owners. The owner shall grade to the prescribed finish grade within the time period set by the Town.

**DRIVEWAYS:** Driveways are permitted on the flankage side of corner lots. Garages so accessed must be placed 5.5 metres back of the side yard.

**ACCESSORY BUILDINGS (includes Detached Garage or Sheds etc):** Minimum side yard is 0.61 metres and no structure shall have a projection greater than 0.31 metres beyond the main wall, except where in the case of a corner lot and where access to the structure is obtained from the flankage street, all accessory uses, buildings, structures shall maintain a minimum side yard of 5.5 metres from the side lot line on the flankage street. Rear yard, minimum - 1.2 metres; Front yard, minimum - no accessory buildings permitted; Height, maximum – 5 metres; Distance from another building on the property – Minimum 1 metre from wall to wall. Any detached garage or carport of more than 93.0 metres is an accessory use and must be approved by Council.

**DECKS:** Must be a minimum of 1.2 metres from the side and 6 metres from the rear yard.

**FENCES:** May be constructed or hedges and shrubs grown, along a lot line only in conformance with the following regulations:

- a) Except where required for screening, a fence, hedge or shrub (excluding trees) shall not exceed 3 metres in height. (The installation of fences over 1 metre in height requires a development permit.)
- b) In the case of corner lots, no fence, hedge, shrub, or tree shall be placed so as to create a visual obstruction in a sight triangle.
- c) No wall, fence, hedge or shrub (excluding trees) located along any side or rear lot line, shall exceed 3 metres in height. (The installation of fences over 1 metre in height requires a development permit.)
- d) No wall, fence, hedge or shrub (excluding trees) located along a lot line in any required front yard, shall exceed 1 metre in height.

### **RETAINING WALLS:**

Will be approved on a case by case basis by the local authority. Information to be provided as requested and in consultation with, the authorized representative.

## **MOBILE HOMES, MOVING AND DEMOLITION INFORMATION:**

**MOBILE HOMES:** Any mobile home to be moved and situated within the mobile home trailer park shall be required to conform to CSA Z240A and A277 standards as of the date of the passing of this bylaw and:

- a) obtain a moving permit;
- b) obtain a development permit;
- c) obtain a building permit;
- d) pay the required permit fee as set out in Schedule "A"; and
- e) pay any other required fee as may be charged by the authorized representative (i.e. Sewer Service Application)

**MOVING PERMITS:** In the case of a structure requested to be moved into the Town, the following requirements shall be met, in addition to a building permit:

- a) pictures of the interior and exterior of the home must be submitted to the local authority for review, at the owner's expense; and
- b) the proposed structure to be moved in must be inspected by the authorized representative prior to its placement in town, at the owner's expense; and
- c) The authorized representative's report must be submitted to the town prior to receipt of the local authority's final approval.

### **DEMOLITION OR REMOVAL PERMITS:**

The fee for a permit to *demolish* or *remove* a building, but not to include an accessory building, shall be \$50.00 in addition to any fee charged by the authorized representative and/or the local authority for site inspections.

- a) In addition, the applicant shall deposit with the local authority the following sum to cover the cost of site restoration after the building has been demolished or removed to such condition that it is, in the opinion of the local authority or its authorized representative, not dangerous to public safety.

**The deposit fee is  
\$1500.00  
(Only applies to a Principal Building)**

- b) If the applicant who demolishes or removes the building restores the site to a condition satisfactory to the local authority or its authorized representative, the sum deposited, or portion thereof, shall be refunded.

In addition, the applicant must provide a copy of a bond or insurance coverage to the municipality stating the person responsible for moving has sufficient insurance to cover costs for damage caused to utilities, roads, private property, municipal property and utilities.

## **RENOVATIONS**

Please contact the Town Office regarding whether or not your renovation may require a permit.

## **GENERAL POINTS:**

Requests for inspection **MUST** be made at **LEAST 48 HOURS IN ADVANCE**. Please call **Professional Building Inspections, Inc.** at 536-1799 to arrange for inspections.

The owner shall arrange for inspections of the building:

1. **at the form setting stage, before the pouring of concrete**
2. **completion of framing and before insulating**
3. **final inspection prior to "Occupancy"**

It is the responsibility of the applicant to ensure that the proposed structure will not encroach upon any electrical or gas lines or any easements registered against the property in question. The location of the electrical lines or gas lines may be located by contacting SaskPower and SaskEnergy respectively.

Please contact the Town Office at 781-4547 for more information.

***Once the permit has been approved, you will be contacted. All fees are due and payable prior to the permit being issued and beginning construction.***

***PLEASE NOTE: PERMITS MAY TAKE A MINIMUM OF A WEEK AFTER SUBMISSION TO THE TOWN OFFICE. PLEASE ALLOW FOR ADEQUATE TIME IN YOUR CONSTRUCTION SCHEDULE.***

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# Form A1

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Application No. \_\_\_\_\_

## TOWN OF PILOT BUTTE APPLICATION FOR DEVELOPMENT PERMIT (All Development/Construction)

1. APPLICANT:

a) Name \_\_\_\_\_

b) Address \_\_\_\_\_ Postal Code \_\_\_\_\_

c) Telephone Number \_\_\_\_\_

2. REGISTERED OWNER: as above ( ) OR

a) Name \_\_\_\_\_

b) Address \_\_\_\_\_ Postal Code \_\_\_\_\_

c) Telephone Number \_\_\_\_\_

3. PROPERTY - LEGAL DESCRIPTION:

Lots(s) \_\_\_ Block(s) \_\_\_\_\_ Registered Plan No. \_\_\_\_\_

Civic Address: \_\_\_\_\_

Certificate of Title No. \_\_\_\_\_ Date \_\_\_\_\_

4. LOT SIZE:

Dimensions (m) \_\_\_\_\_ Area \_\_\_\_\_ (m<sup>2</sup>, ha)

5. EXISTING LAND USE: \_\_\_\_\_

6. PROPOSED NEW LAND USE / DESCRIPTION OF PROPOSED DEVELOPMENT:

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Number of new buildings to be constructed \_\_\_\_\_

Existing building (s) to be renovated or altered \_\_\_\_\_

Existing building (s) to be relocated within the lot \_\_\_\_\_

Existing building (s) to be demolished or removed from lot \_\_\_\_\_

Number of total buildings \_\_\_\_\_

Intended use of building (s): \_\_\_\_\_

Principal building \_\_\_\_\_

Accessory building \_\_\_\_\_

Size of building (s):            Principal building \_\_\_\_\_

                                          Accessory building \_\_\_\_\_

                                          Size of existing building(s) \_\_\_\_\_

Number of building (s) to demolish or remove from lot \_\_\_\_\_

Other types of development: \_\_\_\_\_

7.     a)    Proposed Date of Commencement: \_\_\_\_\_

       b)    Proposed Date of Completion: \_\_\_\_\_

8.     Minor Variance Request:

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9.     Present Zoning: \_\_\_\_\_

10.    OTHER INFORMATION:

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What are the uses of the adjoining lot?

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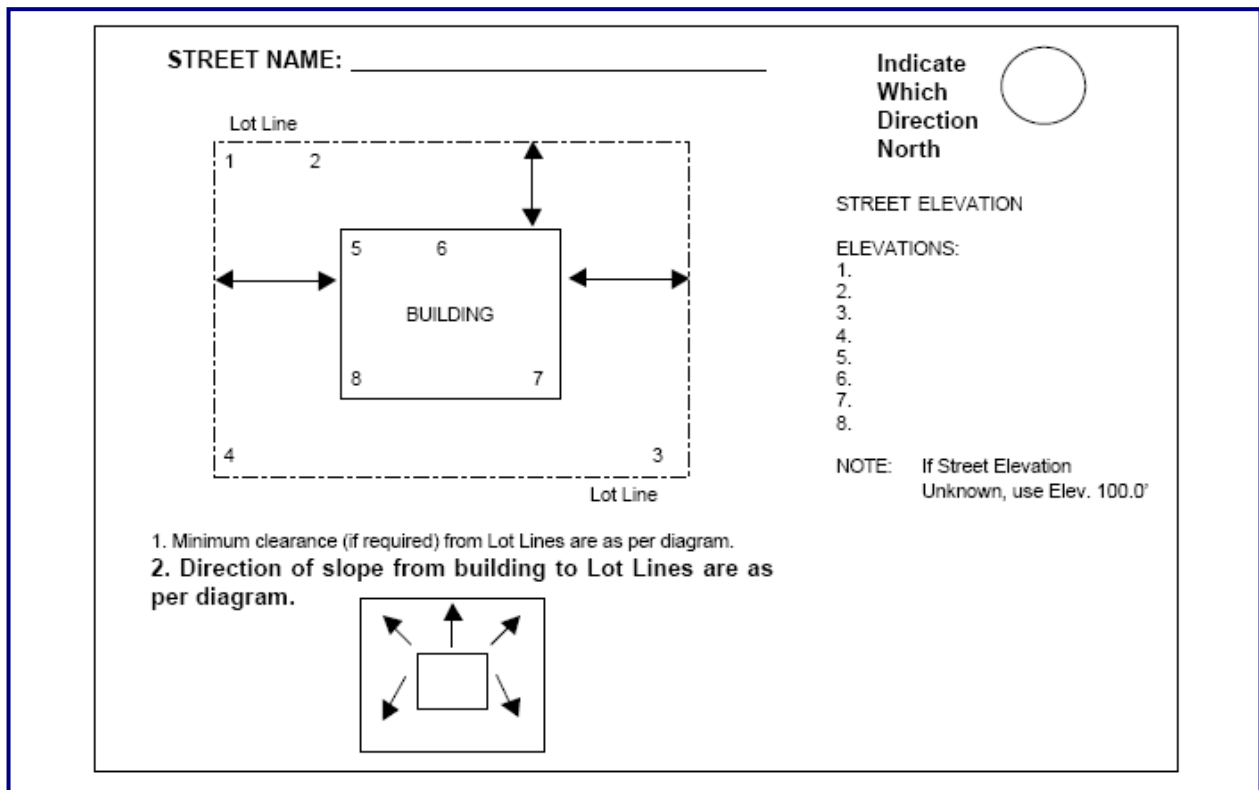
**11.     SITE PLAN REQUIREMENTS FOR ALL DEVELOPMENT/CONSTRUCTION:**

- a)    Dimensions of the lot (side yard, front yard, back yard)
- b)    Location and size of all existing and proposed buildings and structures.
- c)    Distance between Principal and Accessory Building(s)

**The following applies to NEW HOME CONSTRUCTION ONLY:**

- a)    Survey Plan
- b)    Rough Site Grading
  - corner elevations to be inspected by Public Works Superintendent upon completion of subdivision
  - Public Works Superintendent to provide affidavit of rough grade compliance
- c)    Lot Grade Plan (elevations/surface drainage)
- d)    Utility lines, easements, topographic features.
- e)    Proposed site drainage and finished lot grades.
- f)    Location of septic disposal systems and water supply.
- g)    Landscaping (loading and parking areas, entrance and exit points to sites, fences, screening, trees, hedges).
- h)    Location of existing and proposed access points to streets or lanes





12. **SUBDIVISION ON SITE SERVICES REQUIREMENTS** (to be agreed upon and signed between the Town and Developer by way of an agreement):
- Rough Site Grade
  - Lot Grading Plan
  - Gravity Sanitary Sewer Mains and Appurtenances, and connection to Town system
  - Sanitary Sewer Service Connections to front property line of each lot
  - Drainage, using swale ditches
  - Natural Gas and Underground Electrical Distribution, Telephone/Cable Services
  - Arrangement of Street Lighting
  - Street Grading and Gravelling
  - Hot-Mix Asphalt Street Surfacing
  - Landscaping of Open Space
  - Engineering Fees for Subdivision Services
  - Builder to notify the Town of when footings are poured to ensure the first floor of building is 3' above the finished top surface of the street and that grading matches rough grade plan provided by developer.
13. MOBILE AND MODULAR HOMES - For mobile homes provide CSA - Z240 approval number; for modular homes CSA - A277 approval number.
14. I will notify the Town of any alteration or changes to the above.

15. DECLARATION OF APPLICANT:

I, \_\_\_\_\_ of the \_\_\_\_\_ of \_\_\_\_\_  
in the Province of Saskatchewan do solemnly declare that the above statements contained within  
the application are true, and I make this solemn declaration conscientiously believing it to be  
true, and knowing that it is of the same force and effect as if made under oath, and by virtue of  
"The Canada Evidence Act."

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

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**FOR MUNICIPAL OFFICE USE ONLY:**

1. Present Zoning: \_\_\_\_\_
2. Proposed Use(s): Principal \_\_\_\_\_  
                                Accessory \_\_\_\_\_
3. Proposed Yards: Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_ Side \_\_\_\_\_
4. Application Status: Meets Bylaw Requirements \_\_\_\_\_  
                                Does Not Meet Bylaw Requirements \_\_\_\_\_

Other Regulations/Comments: \_\_\_\_\_

\_\_\_\_\_  
**DATE**

\_\_\_\_\_  
**DEVELOPMENT OFFICER**

FORM A2

TOWN OF PILOT BUTTE

APPLICATION FOR BUILDING PERMIT

NEW HOME - ACCESSORY BUILDINGS (DETACHED GARAGE) - ADDITION - ATTACHED GARAGE - BASEMENT RENO - COMM./INDUS./INST. - DECK - MOBILE HOME - STRUCTURAL RENO - STRUCTURE BEING MOVED IN/OUT TOWN

(CHECK ONE)

I hereby make application for a permit to

<input type="checkbox"/>	Construct
<input type="checkbox"/>	Alter
<input type="checkbox"/>	Reconstruct

Permit #

[Empty box for Permit #]

a building according to the information below and to the plans and documents attached to this application.

Civic address or location of work: \_\_\_\_\_

Legal Description: \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Plan \_\_\_\_\_

Alternate# [Empty box]

Owner \_\_\_\_\_ Address: \_\_\_\_\_ Telephone: \_\_\_\_\_

Designer \_\_\_\_\_ Address: \_\_\_\_\_ Telephone: \_\_\_\_\_

Contractor \_\_\_\_\_ Address: \_\_\_\_\_ Telephone: \_\_\_\_\_

Nature of work: \_\_\_\_\_

Intended use of building: \_\_\_\_\_

Size of building: Length \_\_\_\_\_ Width \_\_\_\_\_ Height \_\_\_\_\_

Number of stories \_\_\_\_\_ Fire Escapes \_\_\_\_\_

Number of stairways \_\_\_\_\_ Width of stairways \_\_\_\_\_

Number of exits \_\_\_\_\_ Width of exits \_\_\_\_\_

Foundation Soil Classification and Type \_\_\_\_\_

Footings \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Foundations \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Exterior Walls \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Roof \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Studs \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Floor Joists \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Girders \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Rafters \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Chimneys \_\_\_\_\_ Number \_\_\_\_\_ Size \_\_\_\_\_

\_\_\_\_\_ Material \_\_\_\_\_ Thickness \_\_\_\_\_

Heating \_\_\_\_\_ Lighting \_\_\_\_\_ Plumbing \_\_\_\_\_

Estimated Value of Construction (excluding site) \$ \_\_\_\_\_

Building Area (area of largest story) \_\_\_\_\_ square meters

I hereby agree that it is my responsibility to ensure compliance with the Building Bylaw of the Town of Pilot Butte and with any other applicable bylaws, acts and regulations regardless of any plan review or inspections that may or may not be carried out by the Town or its authorized representative. I also agree to incorporate "green" and environmentally responsible amenities such as "Energy Star" appliances and low flush toilets.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Owner or Owner's Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Development Officer or Administrator

## Residential – Permit Information Form

### Municipal Office Use Only

Municipality: _____	PBI Permit #: _____
Development Approved:    No    Yes	(Proposed construction meets all zoning bylaws and/or is approved in principle.)
Geotech Report Required:    No    Yes	(If required by zoning bylaws or engineer recommendation.)
Permit Application Date: _____	Permit Expiry Date: _____
Date Sent to PBI: _____	Administrator Name: _____
Method Sent (mail, fax, e-mail): _____	Signature: _____

### Information Below Can Be Completed By The Applicant

#### Contact Information:

<b>Registered Owner:</b> _____	Home: _____
Mailing Address: _____	Bus: _____
E-mail: _____	Cell: _____
<b>Contractor:</b> _____	Bus: _____
Contact Person: _____	Fax: _____
E-mail: _____	Cell: _____
Same as Registered Owner	
Applicant's Name: _____	Ph: _____
Same as Registered Owner      Same as Contractor	

#### Jobsite Location:

Civic Address: \_\_\_\_\_

Legal Land Description: Lots(s) \_\_\_\_\_ Block \_\_\_\_\_ Plan No. \_\_\_\_\_  
 \_\_\_\_\_ ¼, Section \_\_\_\_\_ Township \_\_\_\_\_ Range \_\_\_\_\_ W \_\_\_\_\_

Subdivision: \_\_\_\_\_

Landmark or Reference: \_\_\_\_\_  
 (Note directions that will assist the Building Official in finding the jobsite)

#### Project Details:

**Single Family Dwelling** (Select one permit type that best describes the dwelling):

New Home    Duplex Unit    Cottage    RTM    Post-Move    Mobile (Manufactured) Home

Select on line below ALL that pertain to this permit and are included with the plans submitted to PBI for review:

Basement Development    Deck    Attached Garage (Insulated)    Attached Garage (Not Insulated)

**Residential Building Project** (Separate permit is required for each project type):

Addition    Renovation    Deck    Basement Development    Secondary Suite

Sunroom    New Foundation    Retaining Wall    Roof Extension

Attached Garage    Detached Garage    Accessory Building    Pole Building    Boat House

**Insulated:**    Yes    No    **Comments:** \_\_\_\_\_

**Dimensions:** Length: \_\_\_\_\_ ft. x Width: \_\_\_\_\_ ft. x Height: \_\_\_\_\_ ft. | **Size:** \_\_\_\_\_ ft<sup>2</sup>

**Finished Areas:** Main: \_\_\_\_\_ ft<sup>2</sup> | 2<sup>nd</sup> Storey: \_\_\_\_\_ ft<sup>2</sup> | Bsmt: \_\_\_\_\_ ft<sup>2</sup>

**Start Date:** \_\_\_\_\_      **Estimated Completion Date:** \_\_\_\_\_

## Residential - Plan Review Checklist

**Municipality:** \_\_\_\_\_ **Permit #:** \_\_\_\_\_  
**Jobsite Address:** \_\_\_\_\_ **Project Type:** \_\_\_\_\_  
**Owner's Name:** \_\_\_\_\_ **Cell Ph:** \_\_\_\_\_  
**Contractor Name:** \_\_\_\_\_ **Cell Ph:** \_\_\_\_\_

### Residential Project Type

<b>REQUIRED for a Plan Review</b> (A shaded box means <u>not</u> required.)  Provide 1 set of <b>paper plans/designs no larger than 11" x 17"</b> <b>OR a digital copy of plans/designs in pdf format</b> , as well as the information indicated by the unshaded boxes. A plan review must be completed by PBI <u>before</u> a building permit is issued.  <b>E-mail plans and documents in pdf format</b> <b>to the municipal office.</b>  <i>Requirements may vary for unique projects. Consult with PBI.</i>	New Dwelling / Duplex / Cottage	RTM / Modular / Post-Move	Mobile (Manufactured) Home	Addition / Living Quarters	Renovation (structural or egress)	Bsmt Development / Sec. Suite	Deck (not covered or enclosed)	* Attached Garage	* Detached Garage / Acc. Bldg.	* Pole Building	Retaining Wall (if collapse affects a structure)	Foundation Replacement
<b>Site plan</b> (lot dimensions & shape; indicate North; project size, location & distance to property lines; show other buildings on property, easements, driveway, streets, etc.)												
<b>Building plans</b> (e.g. floor plans, exterior elevations, cross sections, supplier specs, structural details, material lists, window & door types/sizes, stair configurations, etc.)												
<b>Structural designs stamped by an engineer</b> (project specific)												
<b>Foundation designs stamped by a structural engineer</b> (site specific)												
Loading on concrete telepost pads or piles												
Wood and/or steel beam sizes												
<b>Geotechnical report</b> (if required by zoning bylaws or engineer recommendation)												
<b>PBI Specifications</b> sheet(s)												
<b>Engineered roof truss designs &amp; layouts</b> (importance factor rating of 1.0)												

\* for storage only – no living quarters

**Note:** Inspection reports and notices will be e-mailed to the municipal office soon after completion.

### E-MAIL CONSENT

Consent to the e-mail delivery of PBI inspection reports and related documents pertaining to this building permit is given to the following individuals/companies involved in the course of construction who will need to receive these reports:

Title (e.g. Owner, Contractor)	Individual's Name	E-mail Address

- Please note that failure to receive an e-mailed report or related document does not release the property owner(s) from their responsibility to comply in all regards with the building standards (municipal bylaws, Saskatchewan Uniform Building and Accessibility Standards Act, and the National Building Code of Canada.)
- I declare that I am authorized to sign this form and that I will notify PBI of any e-mail changes, if applicable.

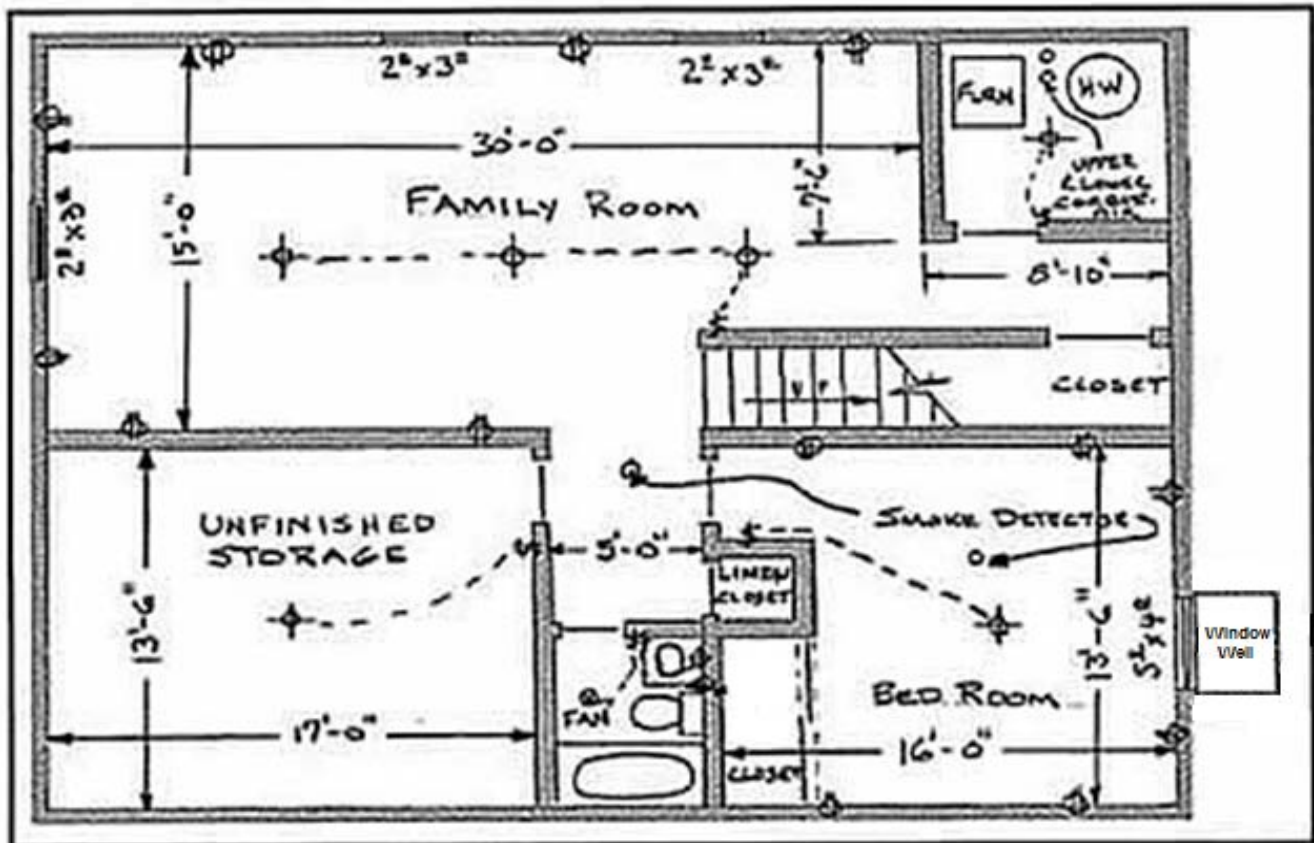
**Owner Name:** \_\_\_\_\_ **Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

## Basement Development - PBI Specifications

### (1) Provide a floor plan SKETCH on a separate sheet and note the following:

- Draw the **perimeter walls** of the basement and note the **total area to be developed** (ft<sup>2</sup> or m<sup>2</sup>).
- Draw the **room layout** (existing and proposed rooms) and show the **location of the stairs** (note width.)
- Note the **dimensions of all rooms** (indicate ft or m).
- Label the **intended use of each room** (e.g. Rec Room, Bathroom, Bedroom, Utility, Office, Storage, etc.)
- Show all **walls, partitions, closets, doorways and windows**.
- Draw the **door swing direction** on all doorways and note the **door width**.
- Note the **window sizes** for each basement window and note the **window opening type** in each bedroom.
- If applicable, show the **proposed fireplace location and type** (i.e. natural gas, wood burning, electric, etc.)
- Using symbols, note the locations of **smoke alarms** (⊙) and **CO alarms** (⊖) (combine symbols for combination units.)
- For **bathrooms**, show the locations of **fixtures** (sink, toilet, tub) and **exhaust fan**.
- For **kitchenettes**, note the location of **cabinets, counters, sinks, and appliances, including cooktops**.
- For **secondary suites**, please submit architectural drawings prepared by an experienced designer, as NBC requirements are significantly different for secondary suites than basement developments.

### Sample Floor Plan

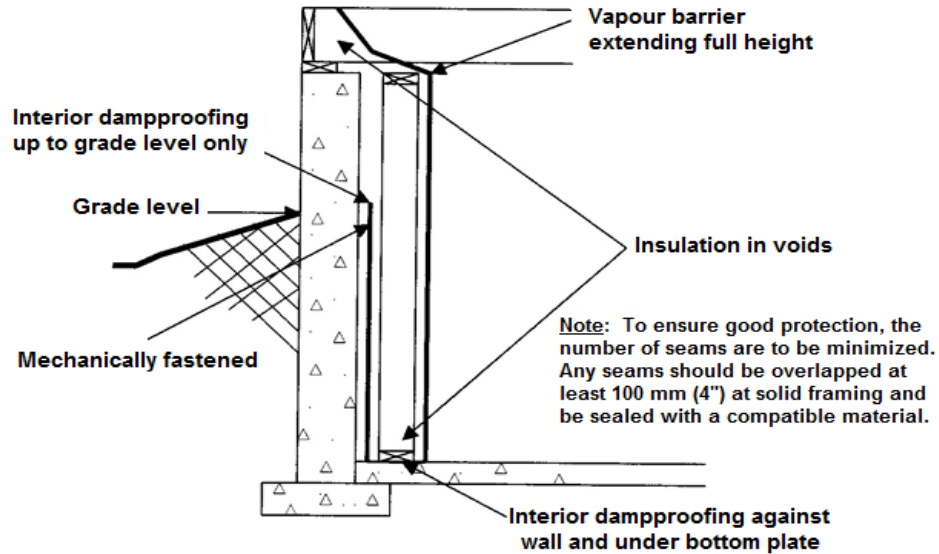


- Answer all questions on page 2 and submit with your floor plan.
- Please contact PBI at (306) 536-1799 if you have any questions.

Owner Name: \_\_\_\_\_ Municipality: \_\_\_\_\_

Owner: (Cell) \_\_\_\_\_ (H) \_\_\_\_\_ Jobsite Address: \_\_\_\_\_

### Foundation Wall Vapour Barrier & Interior Dampproofing



## (2) Complete the information below regarding the proposed development:

**Total Area Being Developed** (indicate ft<sup>2</sup> or m<sup>2</sup>): \_\_\_\_\_

**Foundation Perimeter Walls Are Currently:**

- |                                         |                                   |                                    |
|-----------------------------------------|-----------------------------------|------------------------------------|
| <input type="checkbox"/> Exposed        | <input type="checkbox"/> Framed   | <input type="checkbox"/> Insulated |
| <input type="checkbox"/> Vapour Barrier | <input type="checkbox"/> Sheathed | <input type="checkbox"/> _____     |

**Protection from Dampness:**

- 
- PT Bottom Plate
- 
- Poly / Sill Gasket
- 
- \_\_\_\_\_

**Bedroom/Sleeping Room Window Types:**

- |                                   |                                         |                                          |
|-----------------------------------|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> Casement | <input type="checkbox"/> Awning-Inswing | <input type="checkbox"/> Awning-Outswing |
| <input type="checkbox"/> Slider   | <input type="checkbox"/> _____          |                                          |

**Bedroom Window Sizes:** (Note below as W" x H")

1 \_\_\_\_\_ 2 \_\_\_\_\_ 3 \_\_\_\_\_

**Bedroom Window Unobstructed Opening:**

1 \_\_\_\_\_ 2 \_\_\_\_\_ 3 \_\_\_\_\_

 (Openable portion must not be less than 0.35m<sup>2</sup> (3.8 ft<sup>2</sup>) in area, with no dimension less than 380mm (15"), and must have 760mm (30") minimum clearance space in the window well when window is in the open position.)

**Door Sizes (W" x H") and Quantity** (note below)

- |                                    |                                    |                                    |
|------------------------------------|------------------------------------|------------------------------------|
| <input type="checkbox"/> 24" x 78" | <input type="checkbox"/> 30" x 78" | <input type="checkbox"/> 32" x 78" |
| (min-bathroom)                     | (min-bedroom)                      | (min- furnace room)                |

# \_\_\_\_\_ # \_\_\_\_\_ # \_\_\_\_\_

**Secondary Suite Proposed?**

- 
- No
- 
- Yes

(If Yes, please provide a floor plan prepared by an experienced designer.)

**Stairs Protected By:**

- 
- Wall
- 
- Guards-36" H
- 
- \_\_\_\_\_

**Proposed Ceiling Type:**

- 
- Suspended
- 
- Gyproc
- 
- \_\_\_\_\_

**Proposed Ceiling Height:** (NBC minimum noted)

- 
- 2.1m (6'-11")
- 
- \_\_\_\_\_

**Fireplace:**

- |                                                         |                                      |                                   |
|---------------------------------------------------------|--------------------------------------|-----------------------------------|
| <input type="checkbox"/> None                           | <input type="checkbox"/> Natural Gas | <input type="checkbox"/> Electric |
| <input type="checkbox"/> Wood Burning (stove or insert) | <input type="checkbox"/> _____       |                                   |

(Submit manufacturer's installation specifications with application)

**Smoke Alarm Installed In:**

- 
- Bedroom(s)
- 
- Hallway
- 
- Common Area

**Carbon Monoxide (CO) Alarms Installed:**

- 
- In Bedroom(s)
- 
- Within 16' of each bedroom door

**Proposed Bathroom:**

- 
- None
- 
- 2 piece
- 
- 3 or 4 piece

**Bathroom Fan Exhausts To:**

- 
- Outdoors
- 
- House Ventilation System (HRV)

**Kitchen Fan Exhausts To:**

- 
- Outdoors
- 
- House Ventilation System (HRV)